

Docket Item # 7 & 8  
BAR CASE #2011-0367 & 0368

BAR Meeting  
January 18, 2012

**ISSUE:** Partial Demolition/Encapsulation, Alterations and Waiver of Rooftop HVAC Screening

**APPLICANT :** Lawrence N. Brandt, Inc. by Robert Brandt

**LOCATION:** 204 and 206 South Union Street

**ZONE:** W-1 / Waterfront mixed use zone

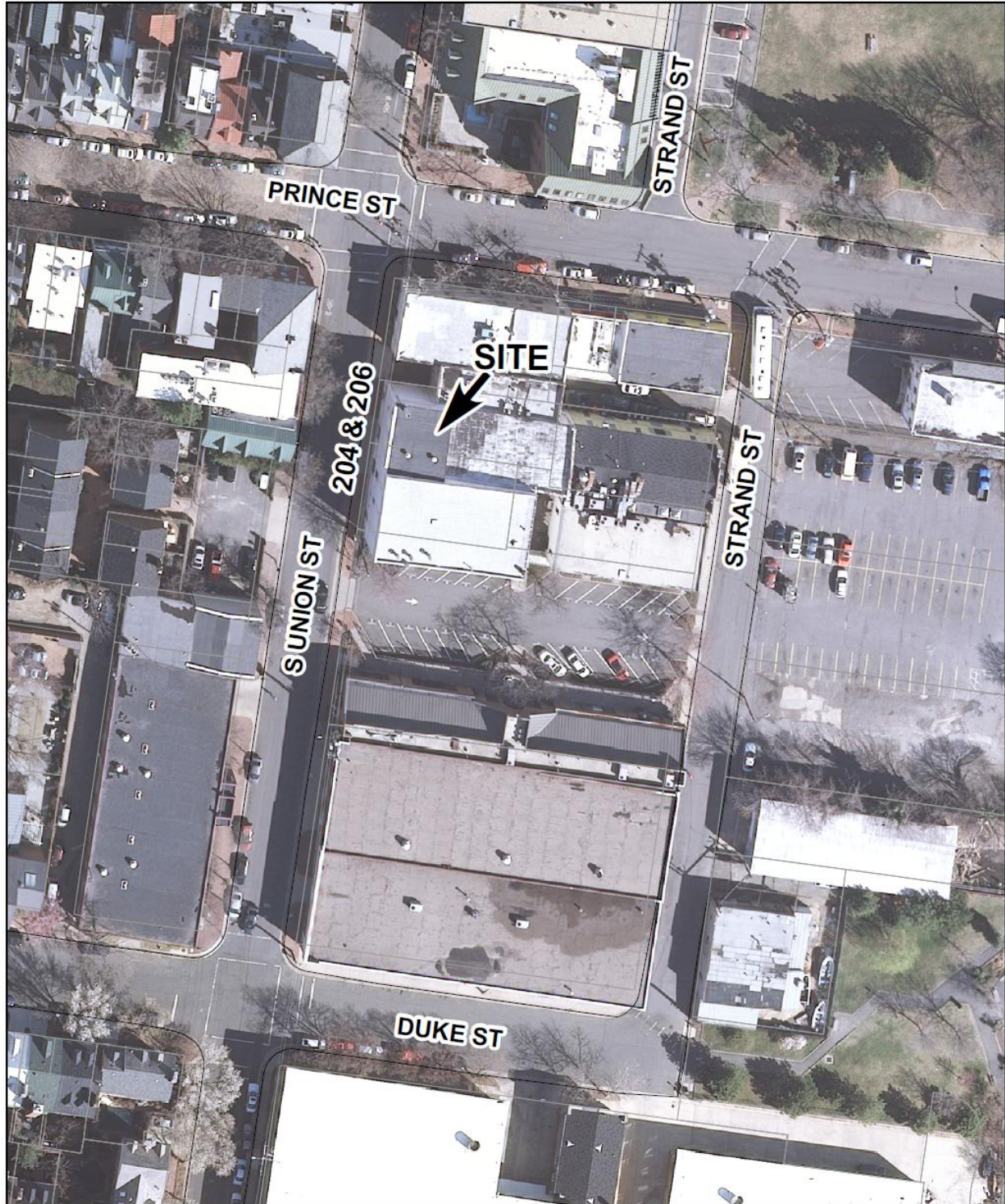
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**STAFF RECOMMENDATION:** Staff recommends approval of the application with the following conditions:

1. That all new or replacement windows be in conformance with the Board's adopted Window Policy; and
2. That the historic iron fenders and door shields be retained *in situ* where possible or reused on the site.

**\*\*EXPIRATION OF APPROVALS NOTE:** In accordance with Sections 10-106(B) and 10-206(B) of the Zoning Ordinance, any official Board of Architectural Review approval will expire 12 months from the date of final approval if the work is not commenced and diligently and substantially pursued by the end of that 12-month period.

**\*\*BUILDING PERMIT NOTE:** Most projects approved by the Board of Architectural Review require the issuance of one or more construction permits by Building and Fire Code Administration (including signs). The applicant is responsible for obtaining all necessary construction permits after receiving Board of Architectural Review approval. Contact Code Administration, Room 4200, City Hall, 703-746-4200 for further information.



**BAR CASE #2011-0367 &  
BAR CASE #2011-0368**



## **I. ISSUE**

The applicant is requesting approval of a Permit to Demolish/Encapsulate and a Certificate of Appropriateness at 204 and 206 South Union Street for the following:

### **Permit to Demolish**

- Demolish wood frame shed roof at 204 South Union Street.
- Demolish wood frame parapet at 204 South Union Street.
- Demolish part of front (west) elevation at first story for new entrance at 204 South Union Street.
- Demolish portions of first story on front (west) and side (south) elevations for new storefront windows and doors at 206 South Union Street.
- Demolish portion of third story on north elevation for new window and door openings onto roof deck.

### **Alterations**

- At first story of both buildings, install new Hope's metal storefront windows and doors. 204 South Union Street will have a center entrance with a pair of single-light doors and windows to match those on the stories above. The entrance will have a metal canopy. At 206 South Union Street, each opening will have a single light door or fixed window flanked by multi-light sidelights and have a multi-light transom.
- At second story of 204 South Union Street, restore/open all original window openings and install wood double-hung, double-glazed 6/9 windows.
- At third story of 204 South Union Street, demolish existing shed roof, restore original window openings and install wood double-hung, double-glazed 6/6 windows. Install new roof deck, third floor roof and rebuild parapet in masonry to match existing. Parapet will serve as screening for rooftop HVAC. Roof deck will have a painted wood railing.
- At second and third stories of 206 South Union Street, repair existing metal casement windows and metal shutters and install new metal doors in existing opening at second story only.
- Remove paint, repoint and leave unpainted 206 South Union Street.

The applicant is also requesting a waiver of the rooftop HVAC screening requirement where the new parapet at the front of 204 South Union leaves a small portion of the new central HVAC unit exposed.

## **II. HISTORY**

204 South Union Street, also known as the Fowle Warehouse, is a three-story painted brick warehouse. The first story of 204 South Union Street dates to **1852**. In the 19<sup>th</sup> century the warehouse was used to store agricultural products and also as a grain mill. Upper stories were altered by Richard Henry Wattles who bought the building in the 1890s. The 1885 Sanborn Fire Insurance Map shows the building as four stories. However, the building was likely damaged by the 1897 fire as the 1902 Sanborn Fire Insurance Map only depicts two stories. A third story was rebuilt by 1941 according to the 1941 Sanborn Fire Insurance Map. Some of the early historic features of this building include cast-iron door shields and the initials of W.F. for the original owner, William Fowle.

206 South Union Street is a three-story painted brick warehouse building whose first story was constructed in the **early to mid-19<sup>th</sup> century** and whose upper floors were also altered by Wattles when he bought the building in the 1890s. This building survived the 1897 fire though it is possible that a portion of the uppermost story was damaged, as the 1885 Sanborn Fire Insurance Map showed a two and one-half story building and the 1902 Sanborn Fire Insurance Map showed a two story building. By 1912 it had been altered and the 1912 Sanborn Fire Insurance Map depicted a three-story building. Similar to the adjacent building at 204, this building was also used to store agricultural products and as a grain mill. Iron door fenders remain at the first story.

### **III. ANALYSIS**

The proposed office use complies with the zoning ordinance requirements for the W-1 zone. Buildings on the waterfront must meet Additional Standards for the Potomac River Vicinity as outlined in Section 10-105(4) of the Zoning Ordinance, as well as be consistent with the Waterfront Building Guidelines chapter of the *Design Guidelines*. While much of these two sections are directed toward new construction or additions, Staff finds the proposed alterations to be consistent with the recommendations. Staff supports the overall application, noting that the applicant is restoring several character-defining features, including reopening blocked windows and rebuilding the front parapet in brick (currently a metal sheet with brick pattern). Where new elements are proposed, Staff finds the changes to be consistent with the *Guidelines*, as traditional fenestration patterns will be maintained for the new storefronts, architectural detailing will be restored or matched, and historically appropriate materials common to historic waterfront buildings will be utilized. Staff notes that future construction along the waterfront will likely look to these two historic warehouses for inspiration.

#### **Permit to Demolish**

In considering a Permit to Demolish, the Board must consider the following criteria set forth in the Zoning Ordinance, §10-105(B):

- (1) Is the building or structure of such architectural or historical interest that its moving, removing, capsulating or razing would be to the detriment of the public interest?
- (2) Is the building or structure of such interest that it could be made into a historic house?
- (3) Is the building or structure of such old and unusual or uncommon design, texture and material that it could not be reproduced or be reproduced only with great difficulty?
- (4) Would retention of the building or structure help preserve the memorial character of the George Washington Memorial Parkway?
- (5) Would retention of the building or structure help preserve and protect an historic place or area of historic interest in the city?
- (6) Would retention of the building or structure promote the general welfare by maintaining and increasing real estate values, generating business, creating new positions, attracting tourists, students, writers, historians, artists and artisans, attracting new residents, encouraging study and interest in American history, stimulating interest and study in architecture and design, educating citizens in American culture and heritage, and making the city a more attractive and desirable place in which to live?

In the opinion of Staff, none of the criteria for demolition and encapsulation are met and the Permit to Demolish should be granted. The scope of the proposed demolition is minimal is part of a larger restoration that will return the two warehouses closer to their original appearance. The addition of windows and doors, particularly at the first level, is a common and typical type of alteration that allows buildings throughout the historic districts to be adaptively reused and the existing first floor brick wall is not of such unusual or uncommon design, texture and or material that it could not be easily reproduced. The demolition of the existing roof at 204 South Union Street is acceptable as that roof is not original to the building and has been altered many times. Additionally, that shed roof is not visible and its removal and replacement will not compromise the integrity of this building.

### Alterations

Staff supports the proposed alterations noting that the majority of the alterations will be sensitive restorations of original or historic features, such as the reconstruction of the parapet at 204 South Union, or the preservation of an historic existing element, such as the reuse of the metal windows and shutters at 206 South Union. The proposed alterations that are new elements, such as the new storefront windows and doors at the first story and the rooftop deck, do not compromise the historic integrity and are sympathetic changes that do not detract from the historic features and materials of these two buildings. The location of the roof deck is minimally visible and representative of how a modern need can be accommodated at a historic building. The changes will still allow the buildings to clearly read as 19<sup>th</sup>-century Alexandria warehouses.

The use of metal windows and doors for the storefront system is appropriate for these former industrial warehouses. Staff suggested that the applicant use the openings at the first floor of the mid-19<sup>th</sup> century warehouse at 201 King Street for a design reference (see Figure #12) for the new ground floor openings at 206 South Union. For the upper floors, the applicant initially proposed double-glazed wood windows at 204 South Union Street. However, Staff advised that such windows are not in keeping with the Board's adopted Window Policy which requires single-glazed wood windows for the front elevations (only) of 18<sup>th</sup>- and 19<sup>th</sup>-century buildings. The applicant has agreed to select a window in keeping with the Window Policy. Staff notes that single-glazed windows with a factory, interior energy panel are an energy efficient option.

While the Board would not normally review paint color for an application such as this where both buildings are already painted brick, Staff strongly supports the proposal to remove the paint and repoint one of the buildings. As these two buildings are excellent examples of 19<sup>th</sup>-century waterfront warehouses, they will now clearly read as two distinct buildings.

Staff has no objection to the request for a waiver of the rooftop HVAC screening requirement at the front of 204 South Union Street and believes that the rebuilt parapet will largely screen the proposed cooling tower from most vantages.

### **STAFF**

Catherine Miliaras, Historic Preservation Planner, Planning & Zoning  
Al Cox, FAIA, Historic Preservation Manager, Planning & Zoning



#### **IV. CITY DEPARTMENT COMMENTS**

Legend: C - code requirement R - recommendation S - suggestion F- finding

##### Code Administration:

- F-1 The review by Code Administration is a preliminary review only. Once the applicant has filed for a building permit, code requirements will be based upon the building permit plans. If there are any questions, the applicant may contact Ken Granata, Acting Plan Review Supervisor at [ken.granata@alexandriava.gov](mailto:ken.granata@alexandriava.gov) or 703-746-4193. (Code)
- C-1 Building and trades permits are required for this project. Five sets of *construction documents* sealed by a *Registered Design Professional* that fully detail the construction as well as layout and schematics of any mechanical, electrical, and plumbing systems that may change(s)
- C-2 New construction must comply with the current edition of the Uniform Statewide Building Code (USBC).
- C-3 Alterations to the existing structure must comply with the current edition of the Uniform Statewide Building Code (USBC).
- C-4 Any proposed future alterations to the existing structure must comply with the current edition of the Uniform Statewide Building Code (USBC).
- C-5 The developer shall provide a building code analysis with the following building code data on the plan: a) use group; b) number of stories; c) type of construction; d) floor area per floor; e) fire protection plan.
- C-6 The architect shall provide window manufacturer specification, size of openings for each window, lintel size and specification if any window or door is added or enlarged.
- C-7 Upon submission for a building permit the owner or owner representative shall provide the square footage of the roof being repaired or replaced as well as manufacturer data sheets on the new roof being installed.
- C-8 Building Code Analysis: The following minimum building code data is required on the drawings: a) use group, b) number of stories, c) construction type and d) floor area.
- C-9 New Parapet and roof shall comply with the 2009 Edition of the Virginia Construction Code.
- C-10 All exterior walls and openings shall comply with the 2009 Edition of the Virginia Construction Code.
- C-11 A wall location plat prepared by a land surveyor is required to be submitted to this office prior to requesting any framing inspection.

Transportation & Environmental Services

**FINDINGS:**

- F1. The above referenced project is located within the 100-yr floodplain as shown on FEMA FIRM 5155190041E dated June 16, 2011. The ground elevation (S. Union St) at the property location is approximately an elevation of 6-ft. The base flood elevation (BFE) is 10.2-ft. The buildings hold Historic status, the project is exempt from the requirements. Current (01/01/2011) assessed building values: \$388,400 (204 S. Union St), \$506,847 (206 S Union St). (T&ES)
- F2. Although these parcels are tagged as being within a Resource Protection Area, it has been found to be outside any RPA's. (T&ES)

**RECOMMENDATIONS**

- R1. The building permit must be approved and issued prior to the issuance of any permit for demolition. (T&ES)
- R3. Applicant shall be responsible for repairs to the adjacent city right-of-way if damaged during construction activity. (T&ES)
- R4. All improvements to the city right-of-way such as curbing, sidewalk, driveway aprons, etc. must be city standard design. (T&ES)
- R5. No permanent structure may be constructed over any existing private and/or public utility easements. It is the responsibility of the applicant to identify any and all existing easements on all plans. (T&ES)

**CITY CODE REQUIREMENTS**

- C-1 Roof, surface and sub-surface drains shall be connect to the public storm sewer system, if available, by continuous underground pipe. Where a storm sewer is not available, the applicant must provide a design to mitigate impact of stormwater drainage onto adjacent properties and to the satisfaction of the Director of Transportation & Environmental Services. (5-6-224) (T&ES)
- C-2 The applicant shall comply with the City of Alexandria's Noise Control Code, Title 11, Chapter 5, which sets the maximum permissible noise level as measured at the property line. (T&ES)
- C-3 All secondary utilities serving this site shall be placed underground. (Sec. 5-3-3) (T&ES)
- C-4 The applicant shall comply with the City of Alexandria's Solid Waste Control, Title 5, Chapter 1, which sets forth the requirements for the recycling of materials (Sec. 5-1-99). (T&ES)
- C5. Any work within or performed from the right-of-way requires a separate permit from T&ES. (Sec. 5-2) (T&ES)

## **V. IMAGES**



**Figure 1. Existing west elevation of 204 and 206 South Union Street.**



**Figure 2. Existing front (west) elevation of 204 South Union Street.**





Figure 3. Existing front (west) elevation of 206 South Union Street.



**Figure 4: Existing side (south) elevation of 206 South Union Street, showing metal windows and fire shutters to be restored.**

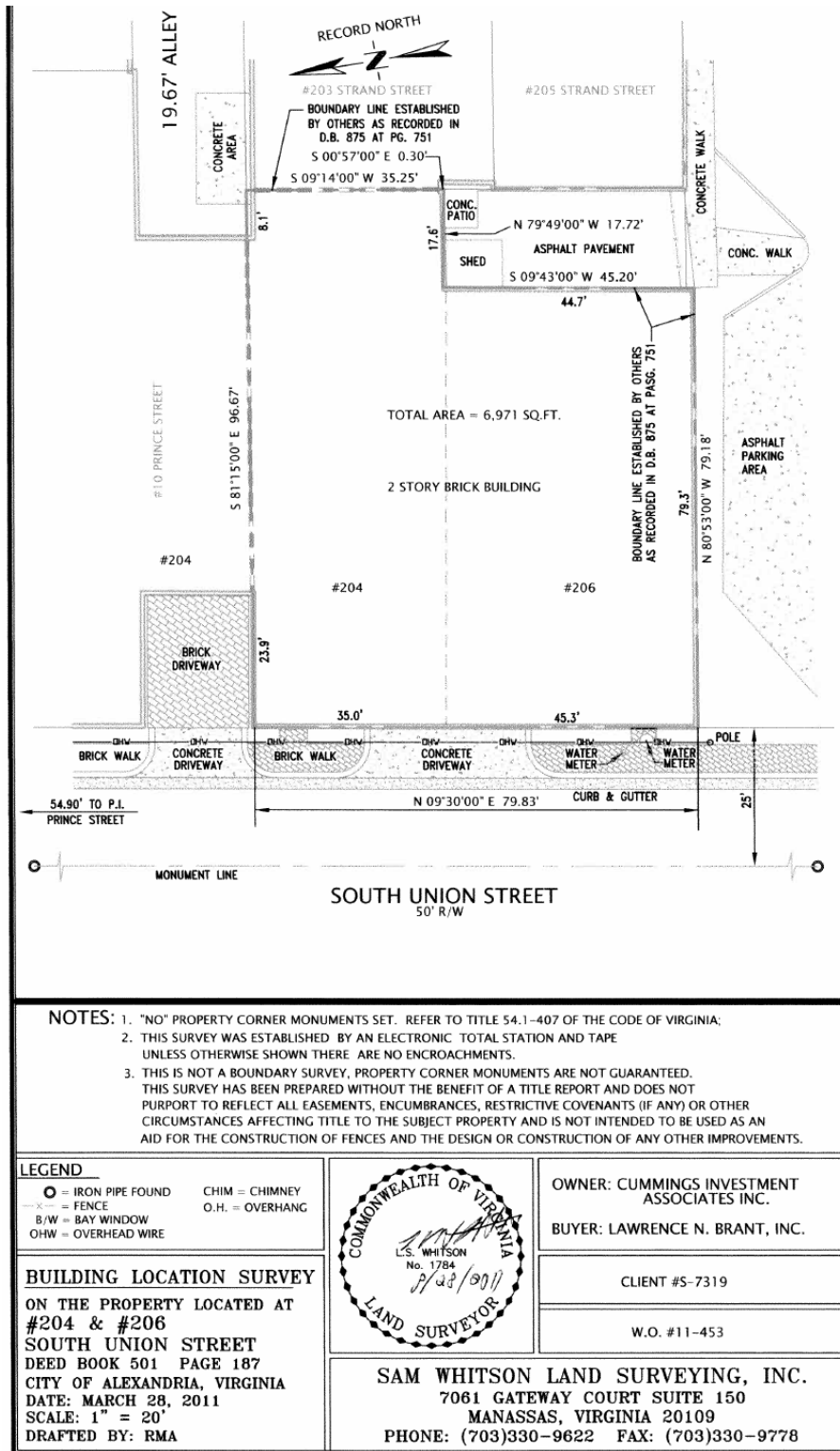


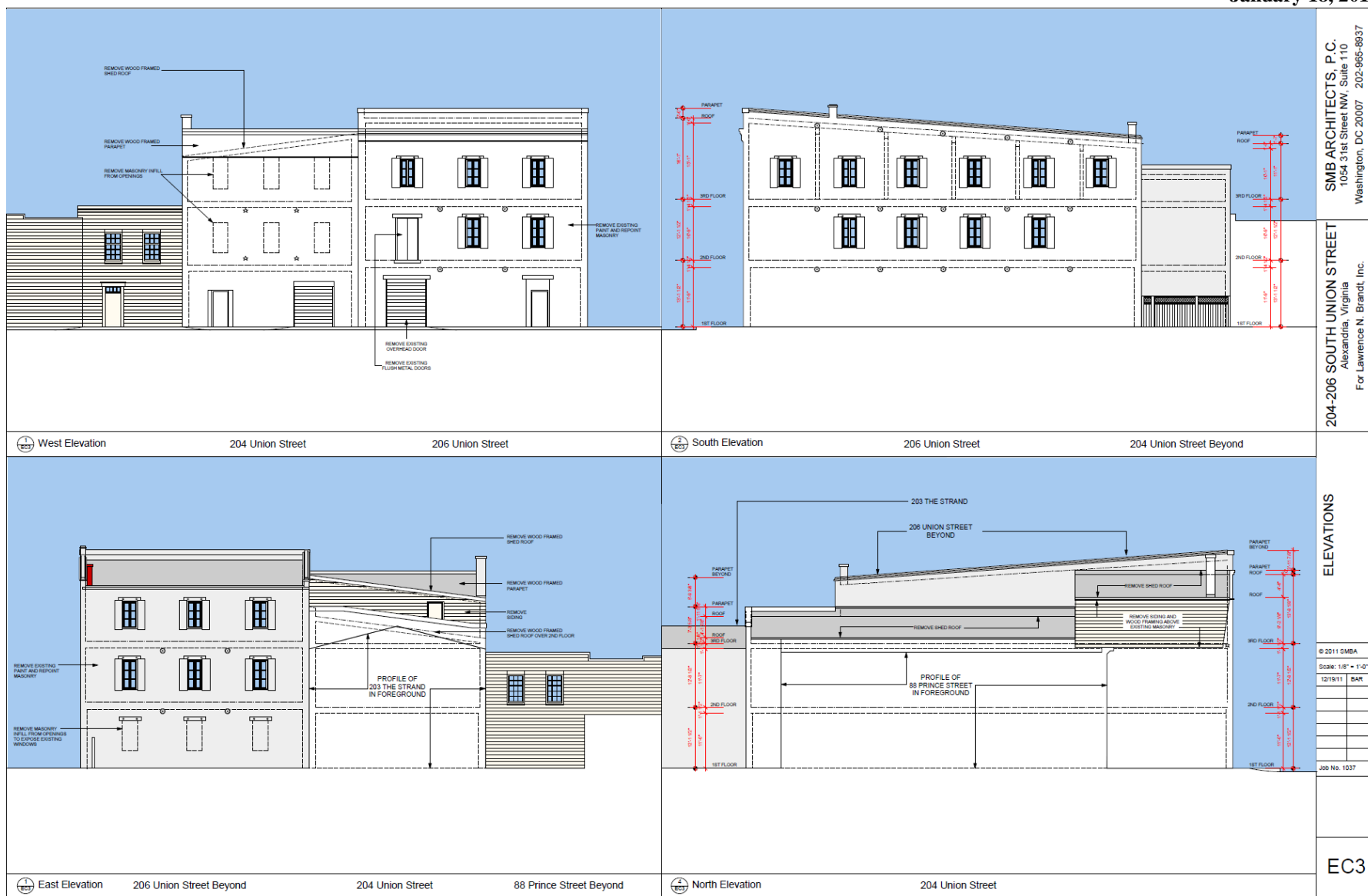
Figure 5. Survey plat.



				<p>SMB ARCHITECTS, P.C. 1054 31st Street NW, Suite 110 Washington, DC 20007 202-965-8937</p> <p>204-206 SOUTH UNION STREET Alexandria, Virginia For Lawrence N. Brandt, Inc.</p>
1 EC4 West Side of Union Street	2 EC4 View North on Union Street	3 EC4 206: South West Corner of Building	4 EC4 206: View South on Union Street	
				<p>Photographs</p>
5 EC4 88 Prince Street: Detail of West Elevation	6 EC4 204: West Elevation, Detail of 2nd and 3rd Floors	7 EC4 206: West Elevation, Detail of 1st and 2nd Floors	8 EC4 206: South Elevation	
				<p>© 2011 SMBA Scale: 1/8" = 1'-0" 12/15/11 BAR</p> <p>Job No. 1037</p>
9 EC4 View South on Union Street from Prince Street	10 EC4 View South West from Prince Street and The Strand	11 EC4 View to North East Corner from The Strand	12 EC4 View of the East Elevation of 206 from The Strand	
				<p>EC4</p>
13 EC4 204: View to North East from the 2nd Floor Roof	14 EC4 206: East Elevation, Detail of 1st, 2nd, and 3rd Floors	15 EC4 206: East Elevation, Detail of 2nd and 3rd Floors	16 EC4 204: East Elevation, Detail of 3rd Floor	

Figure 6. Context photos.





**Figure 7. Existing conditions and areas of proposed demolition.**



PROPOSED ELEVATIONS

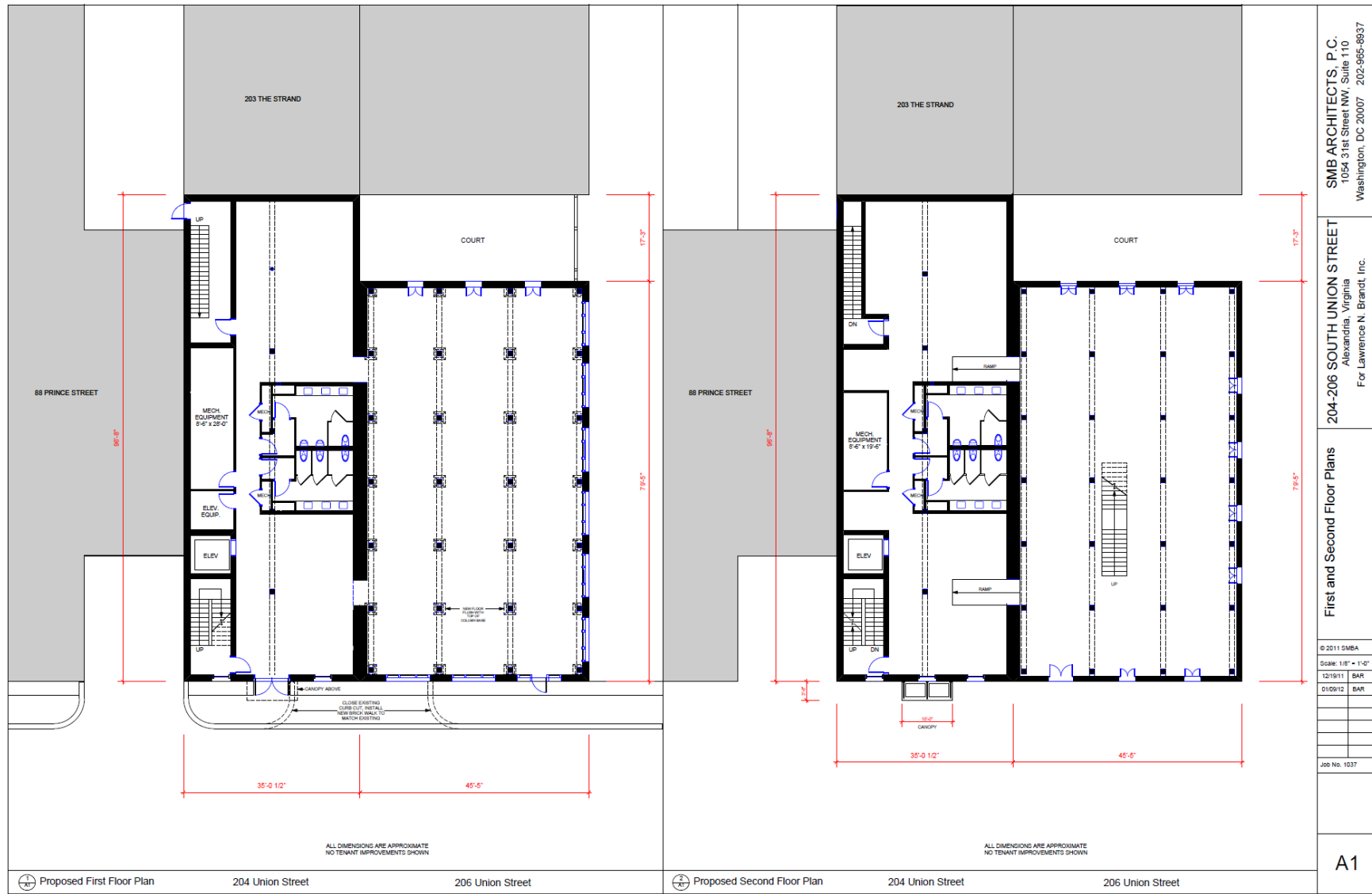


Figure 9. Proposed first and second floor plans.

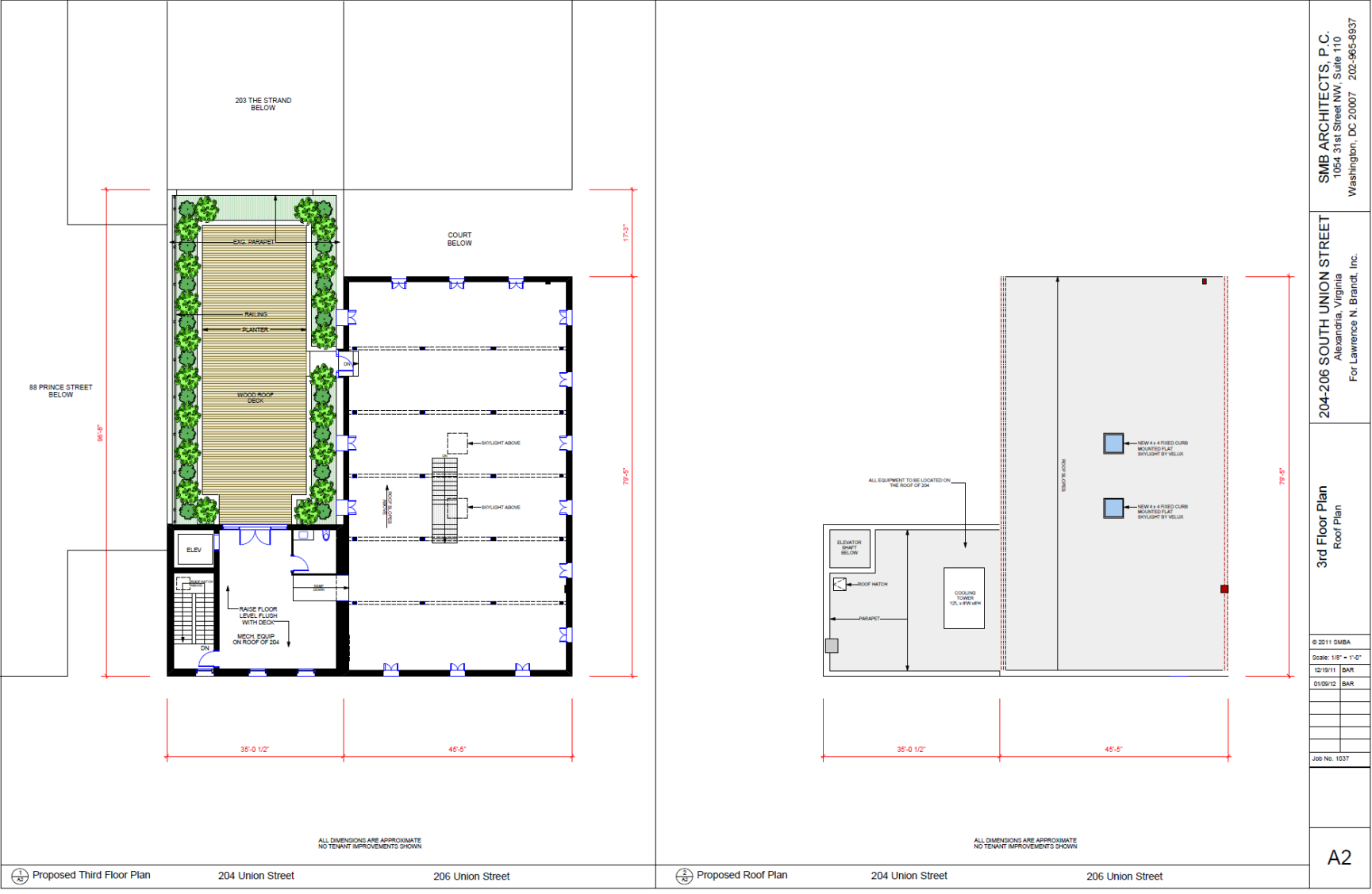


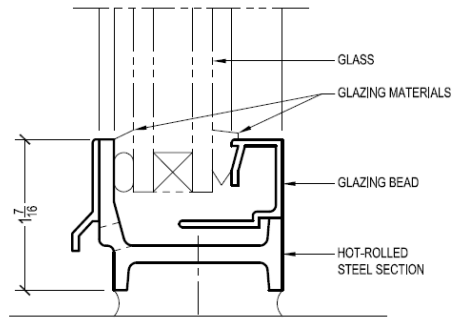
Figure 10 Proposed floorplans, rooftop.



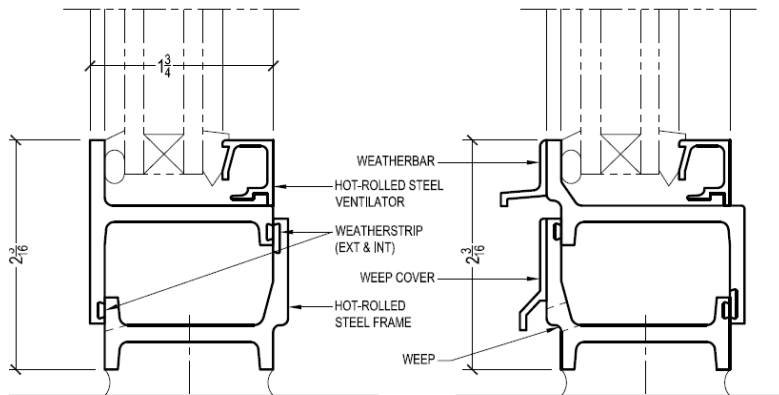
**HOPE'S®**  
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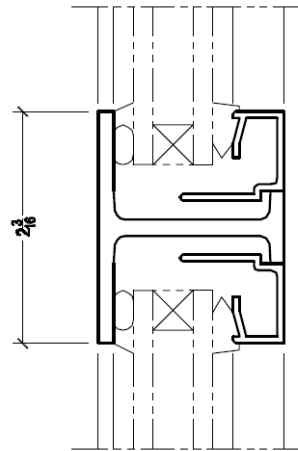
**FIXED DETAIL**  
INTERIOR GLAZED WITH 3/4" GLASS



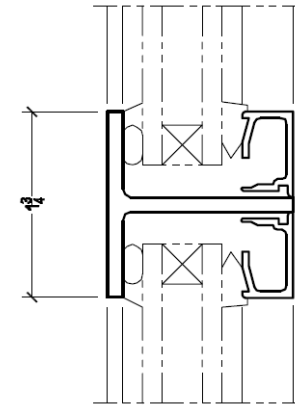
**SWING-OUT DETAIL**  
INTERIOR GLAZED WITH 3/4" GLASS

**SWING-IN DETAIL**  
INTERIOR GLAZED WITH 3/4" GLASS

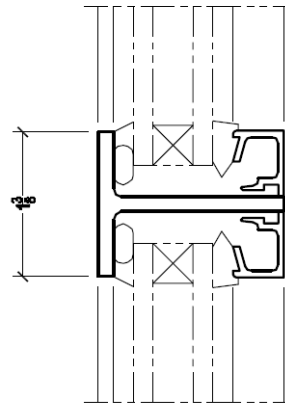
**HOPE'S**  
STEEL WINDOWS & DOORS



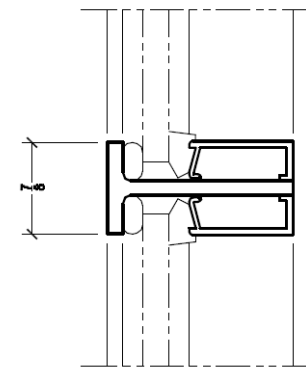
**#175M TRUE MUNTIN DETAIL**  
INTERIOR GLAZED WITH 3/4" GLASS



**#T175L TRUE MUNTIN DETAIL**  
INTERIOR GLAZED WITH 3/4" GLASS



**#T138L TRUE MUNTIN DETAIL**  
INTERIOR GLAZED WITH 3/4" GLASS



**#T875L TRUE MUNTIN DETAIL**  
INTERIOR GLAZED WITH 1/4" GLASS

**Figure 11: Proposed metal window specifications.**



Figure 12: 201 King St., illustrating first floor window openings similar to those proposed at 206 South Union.